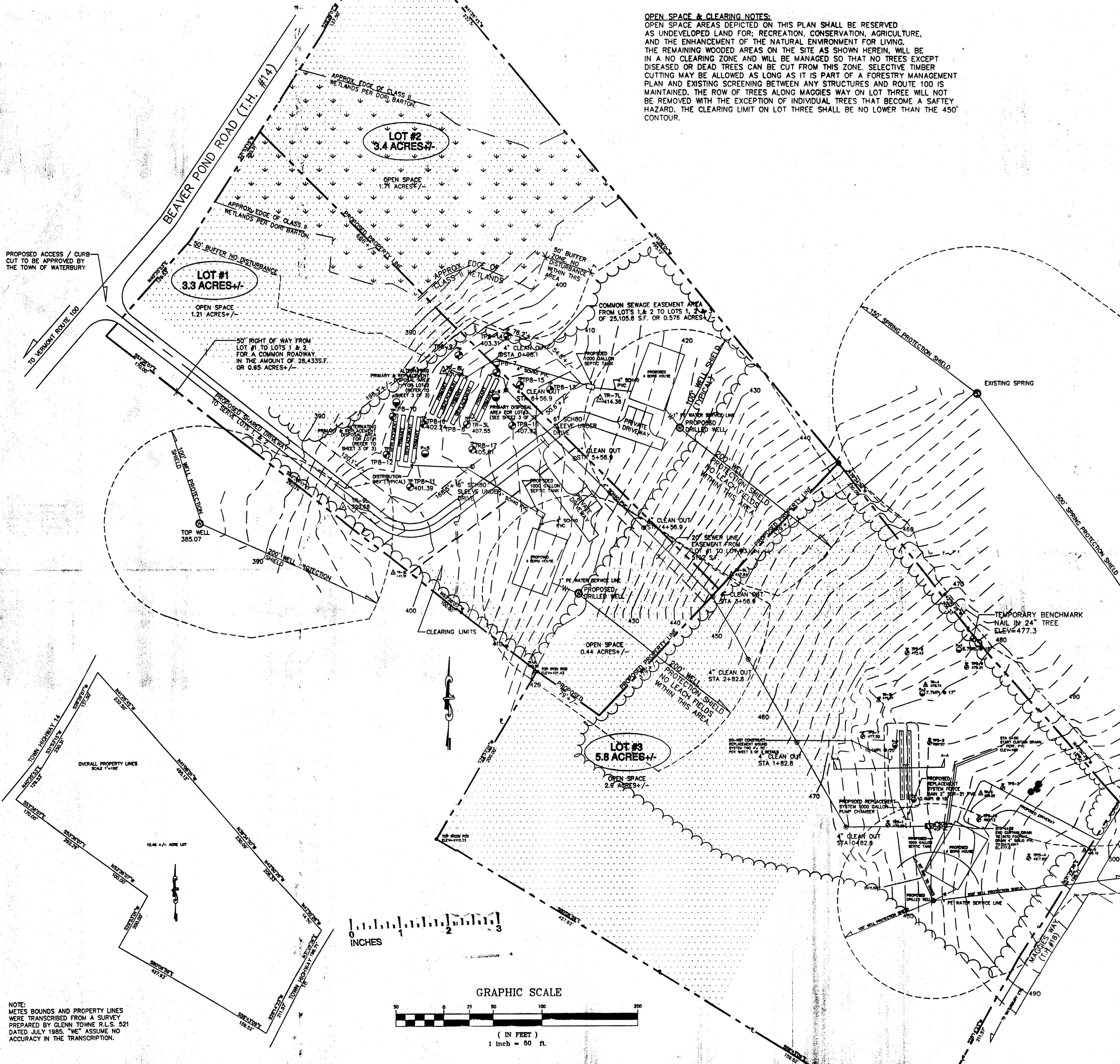
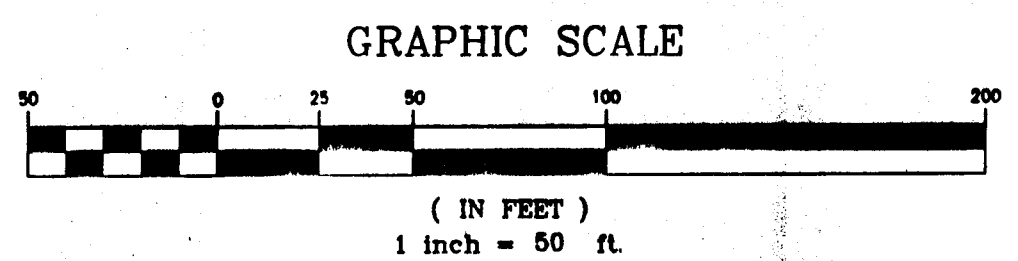
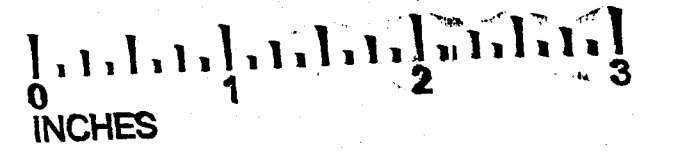


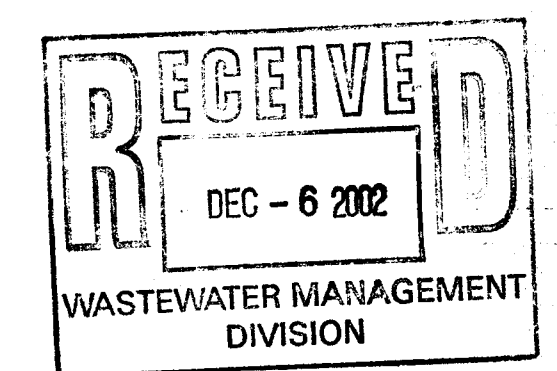
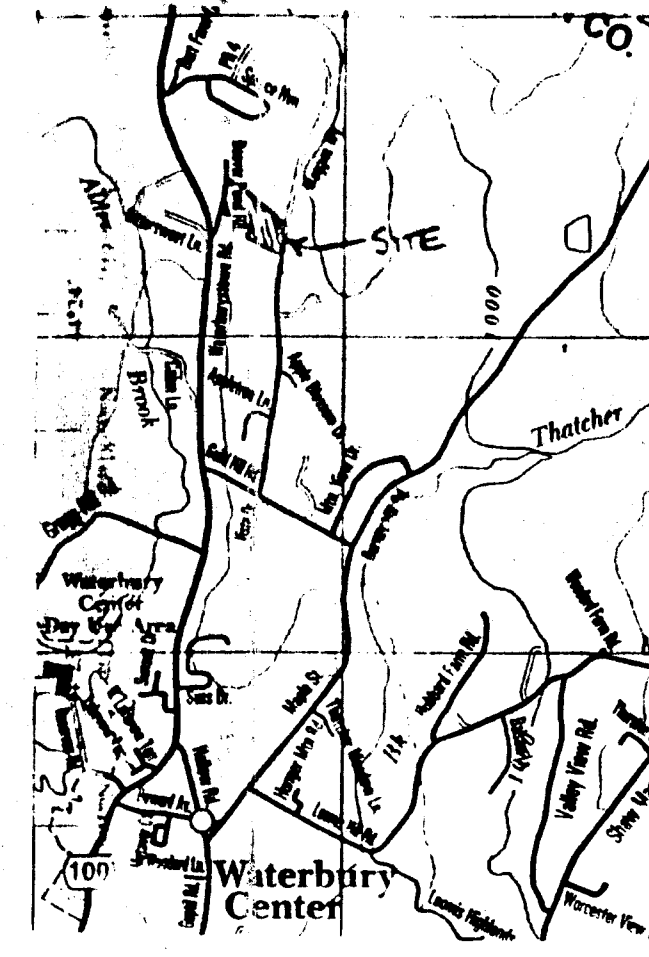


NOTE: METES BOUNDS AND PROPERTY LINES WERE TRANSCRIBED FROM A SURVEY PREPARED BY GLENN TOWNE R.L.S. 521 DATED JULY 1985. "WE" ASSUME NO ACCURACY IN THE TRANSCRIPTION.



OPEN SPACE & CLEARING NOTES:
OPEN SPACE AREAS DEPICTED ON THIS PLAN SHALL BE RESERVED AS UNDEVELOPED LAND FOR: RECREATION, CONSERVATION, AGRICULTURE, AND THE ENHANCEMENT OF THE NATURAL ENVIRONMENT FOR LIVING. THE REMAINING WOODED AREAS ON THE SITE AS SHOWN HEREIN, WILL BE IN A NO CLEARING ZONE AND WILL BE MANAGED SO THAT NO TREES EXCEPT DISEASED OR DEAD TREES CAN BE CUT FROM THIS ZONE. SELECTIVE TIMBER CUTTING MAY BE ALLOWED AS LONG AS IT IS PART OF A FORESTRY MANAGEMENT PLAN AND EXISTING SCREENING BETWEEN ANY STRUCTURES AND ROUTE 100 IS MAINTAINED. THE ROW OF TREES ALONG MAGGIES WAY ON LOT THREE WILL NOT BE REMOVED WITH THE EXCEPTION OF INDIVIDUAL TREES THAT BECOME A SAFETY HAZARD. THE CLEARING LIMIT ON LOT THREE SHALL BE NO LOWER THAN THE 450' CONTOUR.

LOCATION MAP, nts.



NOTES:
1. THIS PLAN WAS PREPARED TO ASSIST JONH BORCH TO OBTAIN STATE OF VERMONT PERMITS FOR HIS 12.48 +/- ACRE LOT.
2. ALL PROPERTY LINES ARE APPROXIMATE AND SHOULD BE ESTABLISHED BY A REGISTERED LAND SURVEYOR. THIS IS NOT A SURVEY.
3. CONTACT CONSULTANT FOR STAKEOUT OF PRIMARY SEPTIC SYSTEMS.
4. ALL UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO THE START OF EXCAVATION.
5. CONTACT CONSULTANT 24 HOURS PRIOR TO BACKFILLING THE PRIMARY SEPTIC SYSTEMS, FOR INSPECTION.
6. ALL POINTS IN QUESTION, OR CHANGES TO THE CONSTRUCTION LAYOUT HEREIN SHALL BE REFERRED TO THE CONSULTANT. FAILURE TO DO SO MAY RESULT IN COSTLY SOLUTIONS.

Dept. of Environmental Conservation
Approved: *[Signature]*
Permit #: *WMS-5-2005*
Date: *1/13/03*

LEGEND	
	TRAVERSE POINT
	FOUND IRON PIN
	TBM- TEMPORARY BENCHMARK
	POWER POLE AND OVERHEAD LINE
	MAXIMUM CLEARING LIMIT
	EXISTING CONTOURS
	TEST PIT
	DRILLED WELL
	PROPERTY LINE
	WETLANDS
	SEWER LINE
	CENTERLINE STREAM
	CULVERT
	WATER SERVICE LINE

OWNER / APPLICANT:
JOHN & JENNIFER BORCH
35 CONVERSE COURT
BURLINGTON, VT 05401
802-865-4260

DATE: 12/02/02
REVISED: SHEET 1 OF 3

PROJECT:
PROPOSED THREE LOT SUBDIVISION, 12.48 ACRES +/-, LOT #1, 3.3 AC, LOT #2, 3.4 AC, LOT #3, 5.8 AC.
BEAVER POND RD. & MAGGIES WAY RD.
WATERBURY CENTER, VT
SITE PLAN

PROFESSIONAL ENGINEER
[Signature]
RICHARD M. WHEELER, P.E.
AFFILIATE: WHEELER ENGINEERING

REGISTERED SITE TECHNICIAN B
[Signature]
BRUCE W. PION, SITE TECHNICIAN B

NAVIGATOR ENVIRONMENTAL SERVICES

P.O. BOX 71, WATERBURY CTR., VT 05677
TEL. (802) 244 - 8061 FAX (802) 244 - 1535