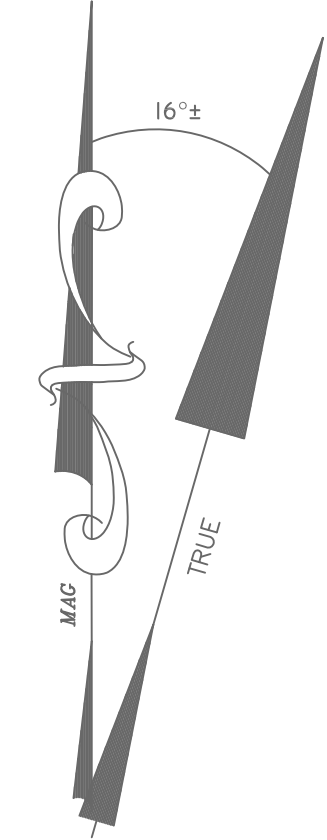


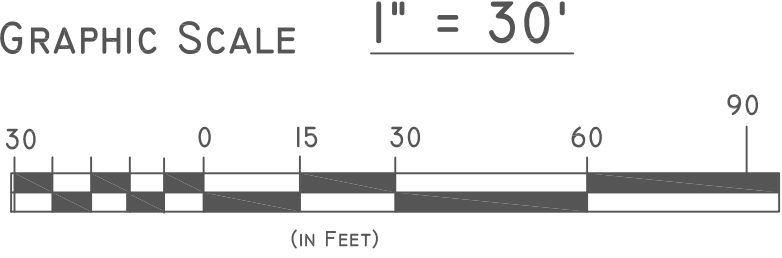
EITAN A. ROMANOFF
LOT C, 3.46 ACRES
+ 0.81 ACRES ADDED
FROM LOT A;=
4.27 ACRES

WJH REALTY, LLC



WJH REALTY, LLC

SITE PLAN



LELAND FARM RD
(CLASS 4)

2' CONTOURS BASED UPON MAPPING BY TODD HILL WITH TOTAL STATION & ASSUMED ELEVATION AT BENCHMARK. ASSISTED BY DAVE SKINNAS.

REFERENCES: * 2010 SURVEY & SUBDIVISION PLAN OF THERRIEN WOODS SUBDIVISION BY DANIEL MULLIGAN & GRENIER ENGINEERING.
* DECEMBER, 2022 SURVEY BY DANIEL MULLIGAN, GRENIER ENGINEERING: BOUNDARY LINE ADJUSTMENTS, THERRIEN WOODS SUBDIVISION, WJH REALTY, LLC-LOT A; ANNMARIE HARMON TRUST-LOT-B, EITAN ROMANOFF-LOT C.

ZONE: RURAL RESIDENTIAL
MINIMUM FRONT SETBACK: 75'
MINIMUM SIDE, REAR, & BACK SETBACKS: 50'
MAXIMUM HEIGHT: 35'
MINIMUM SETBACK FROM WATER 75'

SUMMARY OF MIDDLESEX DRB CONDITIONS PER SUBDIVISION PLAT:
1) NO CLEARING IS ALLOWED ON SLOPES 25% OR GREATER UNLESS NEEDED FOR INFRASTRUCTURE PURPOSES.
2) ALL WETLANDS ARE TO BE PROTECTED.
3) NO LOTS SHALL BE FURTHER SUBDIVIDED.
4) SUBDIVIDER TO PROVIDE DOCUMENTATION THAT RIGHT OF WAYS & COMMON FACILITIES WILL BE ADEQUATELY MAINTAINED BY SUBDIVIDER OR OWNERS ASSOCIATION.

LOT B, 11.82 ACRES AFTER ADJUSTMENT

THE ANNMARIE HARMON TRUST
LOT B, 11.82 ACRES AFTER ADJUSTMENT
(ORIGINAL LOT: 7.71 AC., 4.11 AC. ADDED FROM LOT A)

Todd Hill,
Environmental Consulting & Design
Licensed Designer BW # 341
phone: 802 244-7835
toddhill802@gmail.com

Design certification statement:
I, Todd Hill, a qualified designer in the state of Vermont, certify that the design-related information is true and correct, and that in the exercise of my professional judgment, the design of the potable water supply and wastewater system meets the technical standards of the Vermont EPR's.

Todd Hill

PRELIMINARY PLAN

WJH REALTY, LLC
LOT A, 40.88 ACRES AFTER ADJUSTMENT
(ORIGINAL LOT: 45.8 AC.,
4.11 ANNEXED TO LOT B)

ANNMARIE HARMON TRUST
SITE PLAN;
WATER & WASTEWATER PLAN

LOT B, THERRIEN WOODS SUBDIVISION
LELAND FARM ROAD,
MIDDLESEX, VERMONT

FEBRUARY 10, 2023