

Matchline Sheet 2
Sheet 1

LOT A AREA TABLE

	ACRES
ORIGINAL AREA =	45.8 AC.
MINUS AREA B2 =	4.11 AC.
MINUS AREA C2 =	0.81 AC.
AREA AFTER ADJUSTMENT =	40.88 AC.

PETER STOTHART
MICHELLE M. COSTELLO
48/500-501

WJH REALTY, LLC
(MARK HANNON)
122/258-259
REF MAPS 1 & 5

LOT A
*45.8 ACRES ORIGINAL
*(CALCULATED AREA TO CL OF T.H. 20)
FROM REFERENCE MAP 1 INFORMATION
(NOT TO BE FURTHER SUBDIVIDED)
40.88 ACRES AFTER ADJUSTMENT

AREA B2 = 4.11 ACRES
TO BE ADDED TO LOT B
FROM LOT A

7.71 AC.
±4.11 AC.
11.82 AC.
AFTER ADJUSTMENT

AREA C2 = 0.81 ACRES
TO BE ADDED TO LOT C
FROM LOT A

LOT C
3.46 ACRES
(NOT TO BE FURTHER SUBDIVIDED)

EITAN A. ROMANOFF
150/207-208
REF MAP 5

DALE W. KLEIN
NANCY B. KLEIN
48/264-265
(KEY DEED 35/52-54)

THE ANNMARIE HARMON TRUST
TRUSTEE: ANNMARIE HARMON
153/36-37
REF MAP 5

LOT B
7.71 ACRES ORIGINAL
(TO CL OF T.H. 20)
(NOT TO BE FURTHER SUBDIVIDED)

3.46 AC.
±0.81 AC.
4.27 AC.
AFTER ADJUSTMENT

LOT D
3.20 ACRES
(NOT TO BE FURTHER SUBDIVIDED)

KRISTEN SCHIEMAN
DAVID J. GATES
151/237-239

MICHAEL LEVINE REVOCABLE TRUST
TRUSTEES: MICHAEL F. LEVINE
SANDRA E. LEVINE
151/217-218

LOT E
3.47 ACRES
(TO CL OF T.H. 20)
(NOT TO BE FURTHER SUBDIVIDED)

MICHAEL F. LEVINE
SANDRA E. LEVINE
68/346-348
REF MAP 4

JACOB WALBRIDGE
149/225
REF MAP 3

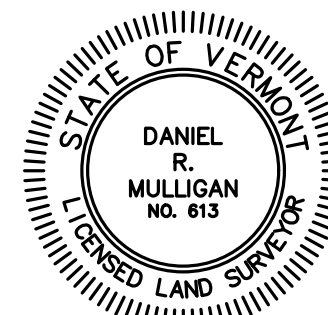
SCOTT SKINNER
MARY JUST SKINNER
127/207-208

LEGEND

- = MONUMENT (SEE MONUMENT TABLE)
- △ = UNMONUMENTED POINT
- (1) = POINT (SEE MONUMENT TABLE ON SHEET 2)
- = PROPERTY LINE
- - - = EASEMENT LINE
- - - = SURVEY TIE LINE
- - - = EDGE OF CLASS III WETLAND
- x x x x x x x x x x = WIRE FENCE
- = STONEWALL
- - - = ZONING SETBACK LIMITS
- = SMALL WATERCOURSE
- = WELLHEAD PROTECTION ZONE
- = PROPOSED GRAVITY SEWER LINE
- = PROPOSED SEWER FORCEMAIN
- - - = EDGE OF PROPOSED CLEARING LIMITS
- - - = EDGE OF EXISTING ROAD
- = PROPOSED ROAD
- = PROPOSED DRIVEWAY
- = PROPOSED CULVERT
- = PROPOSED DRILLED WELL
- = PROPOSED SEPTIC SYSTEMS
- = BOOK/PAGE MIDDLESEX LAND RECORDS

136/515

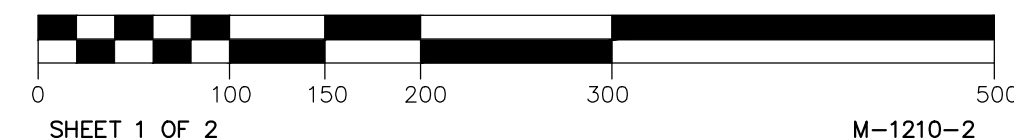
APPROVED BY: _____ DATE: _____
MIDDLESEX ZONING ADMINISTRATOR



Daniel R. Mulligan

I CERTIFY THAT THIS SURVEY CONFORMS TO PERTINENT LAND RECORDS AS
CONFIRMED OR MODIFIED BY EVIDENCE FOUND ON THE GROUND AND IS
CONSISTENT WITH SUCH (EXCEPT WHERE NOTED) AND WAS PERFORMED AS
DIRECTED BY MARK HANNON AND AS NOTED ABOVE. THIS PLAT MEETS
THE REQUIREMENTS OF 27 VSA 1403 AND 26 VSA 2596

BOUNDARY LINE ADJUSTMENTS
THERRIEN WOODS SUBDIVISION
WJH REALTY, LLC - LOT A
(MARK HANNON)
THE ANNMARIE HARMON TRUST - LOT B
EITAN ROMANOFF - LOT C
129 LELAND FARM ROAD (T.H. #20)
MIDDLESEX, VERMONT
DECEMBER 2022
BY GRENIER ENGINEERING, P.C.
P.O. BOX 445 - WATERBURY, VERMONT 05676
SCALE: 1" = 100'



M-1210-2